



101 - 301
Piedmont Grove Road
Greenville, SC

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Site Plan



Axial Crosspoint will consist of three rear-load buildings totaling over 558,000 square feet with ample employee parking and trailer parking. The three buildings will measure 283,242, 73,271 and 201,649 square feet and provide the flexibility to accommodate multiple tenants. These features, along with modern clear heights, will satisfy both local and regional distribution tenants in addition to light manufacturing and assembly users.



Ready for Occupancy February 2024



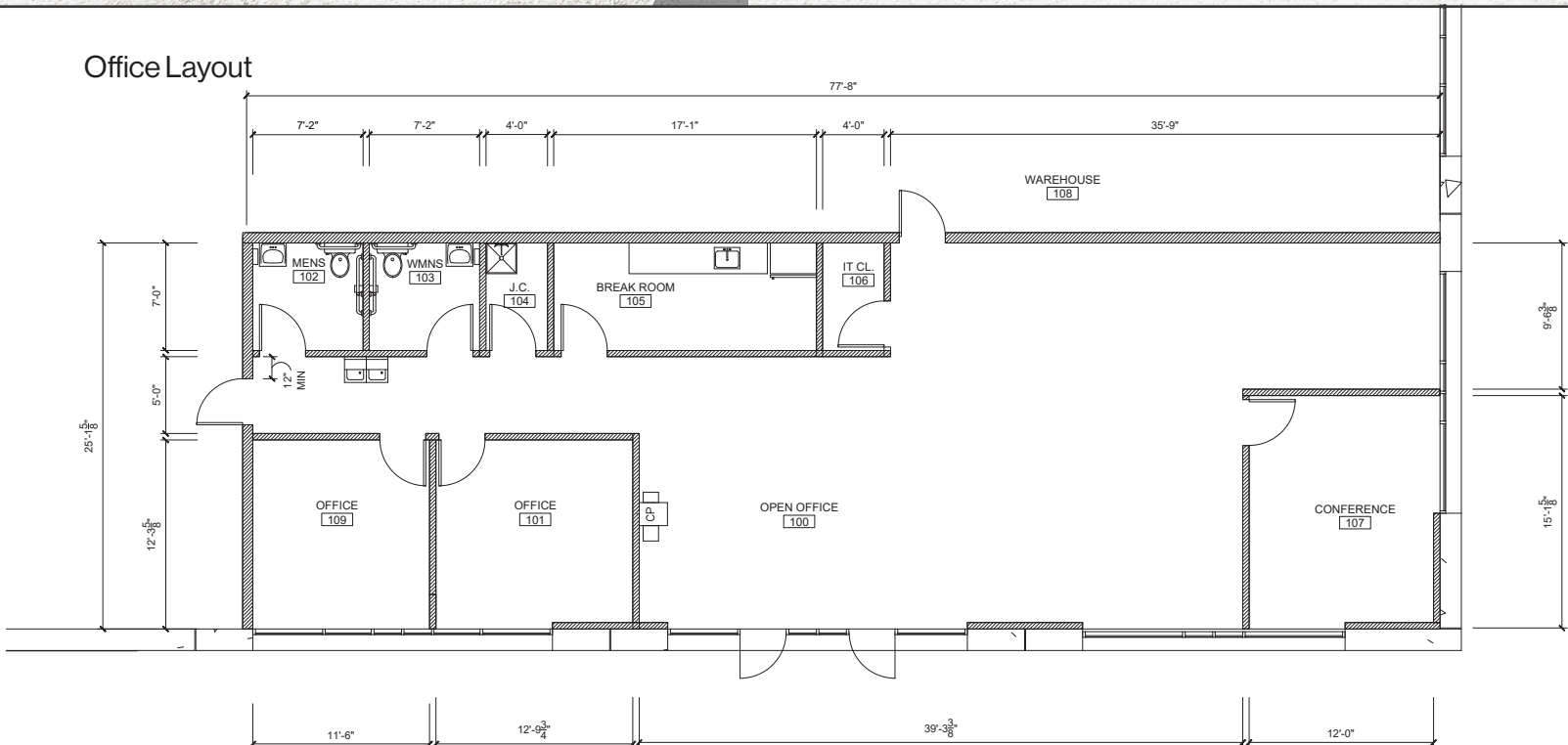
Property Details

Building 1

Building Size: 283,242 SF
 Spec Office Space: 2,131 SF
 Dimensions: 260' x 1,080'
 Clear Height: 36'
 Dock Doors: 60
 Dock Packages: 4, with 35K lb levelers
 Drive-In Doors: 2 (4 Knock-outs)
 Column Spacing: 54' x 50' (60' speed bay)
 Slab Thickness: 7"
 Sprinkler: ESFR
 Lighting: LED
 Auto Parking: 216 Spaces
 Trailer Parking: 66 Spaces
 Concrete tilt wall
 Rear-load configuration
 Single- or multi-tenant design flexibility



Office Layout



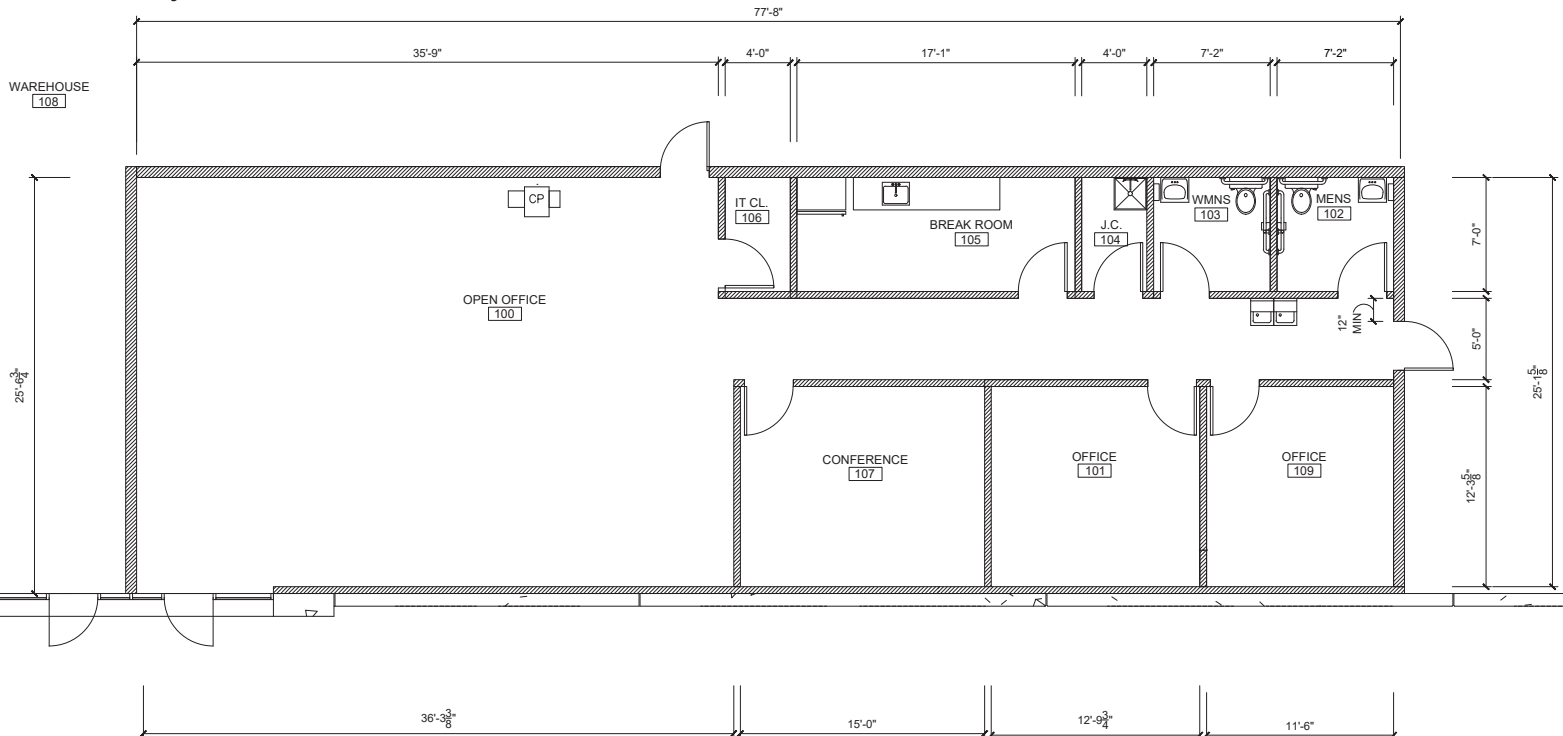
Property Details

Building 2

Building Size: 73,271 SF
 Spec Office Space: 2,129 SF
 Dimensions: 120' x 600'
 Clear Height: 32'
 Dock Doors: 31
 Dock Packages: 4, with 35K lb levelers
 Drive-In Doors: 2
 Column Spacing: 60' x 50' (60' speed bay)
 Slab Thickness: 6"
 Sprinkler: ESFR
 Lighting: LED
 Auto Parking: 104 Spaces
 Concrete tilt wall
 Rear-load configuration
 Single-or multi-tenant design flexibility



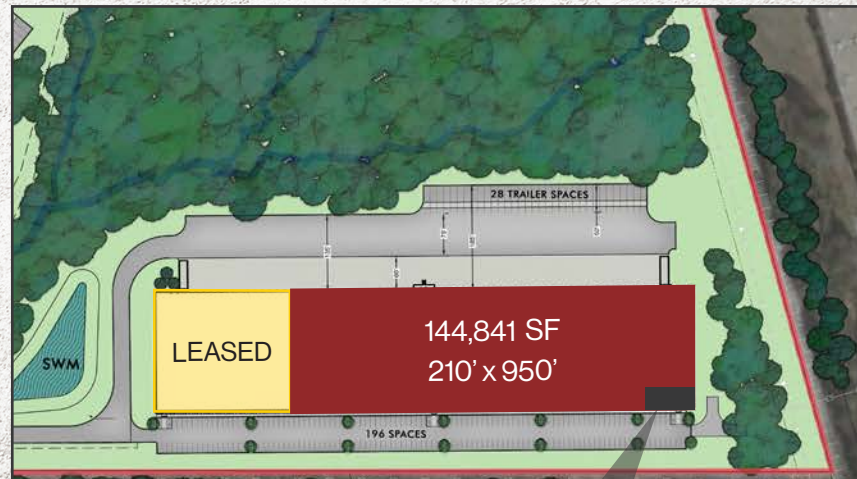
Office Layout



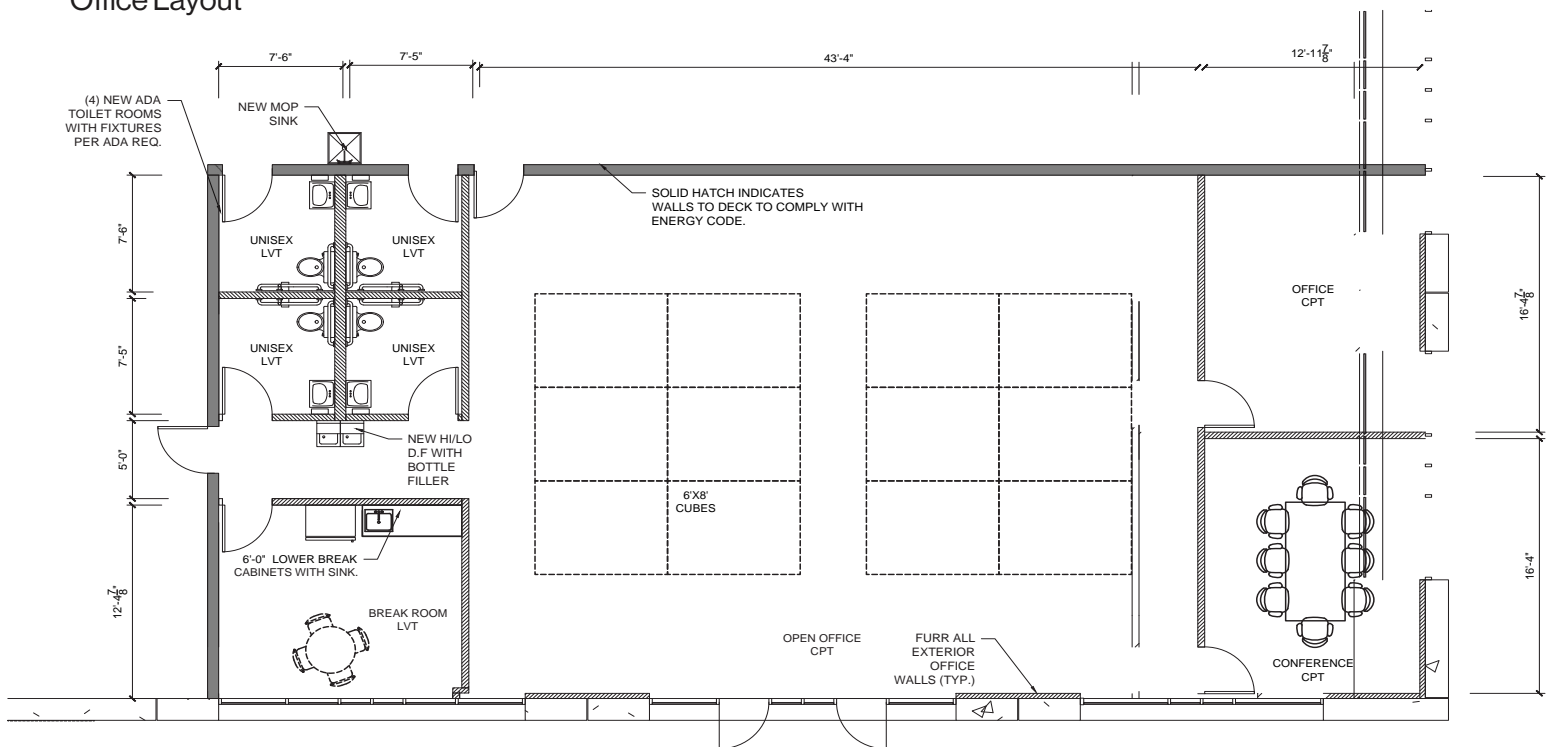
Property Details

Building 3

Available Space: 144,841 SF
 Building Size: 201,649 SF
 Spec Office Space: 2,667 SF
 Dimensions: 210' x 950'
 Clear Height: 36'
 Dock Doors: 39 Available
 Dock Packages: 4, with 35K lb levelers
 Drive-In Doors: 1 Available
 Column Spacing: 52' x 50' (60' speed bay)
 Slab Thickness: 7"
 Sprinkler: ESFR
 Lighting: LED
 Auto Parking: 196 Spaces
 Trailer Parking: 28 Spaces
 Concrete tilt wall
 Rear-load configuration
 Single-or multi-tenant design flexibility

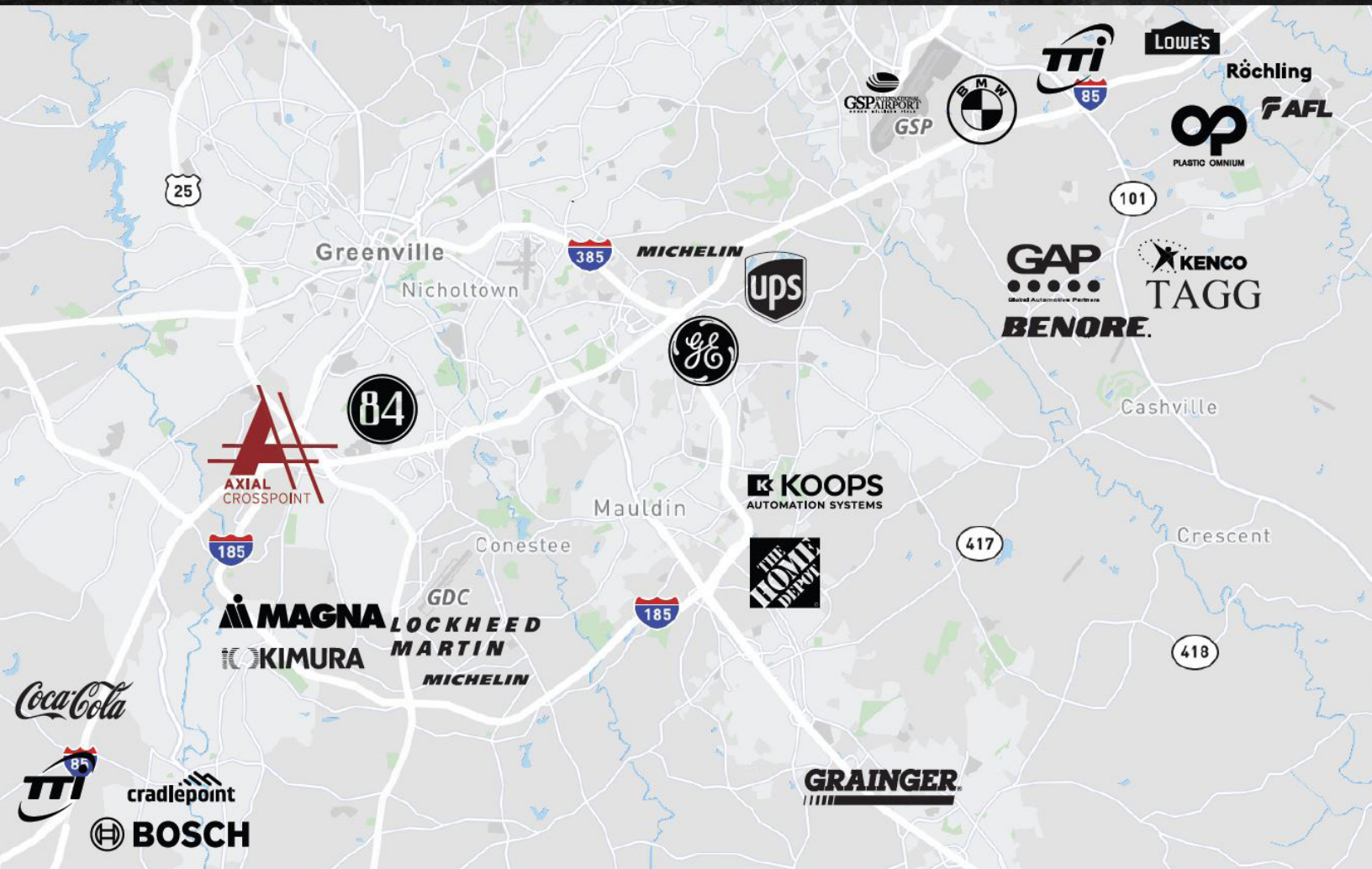


Office Layout



AXIAL CROSSPOINT

BY CRESCENT
COMMUNITIES



Midpoint of the East Coast between
Miami and New York

Located along the I-85
corridor between Charlotte
and Atlanta

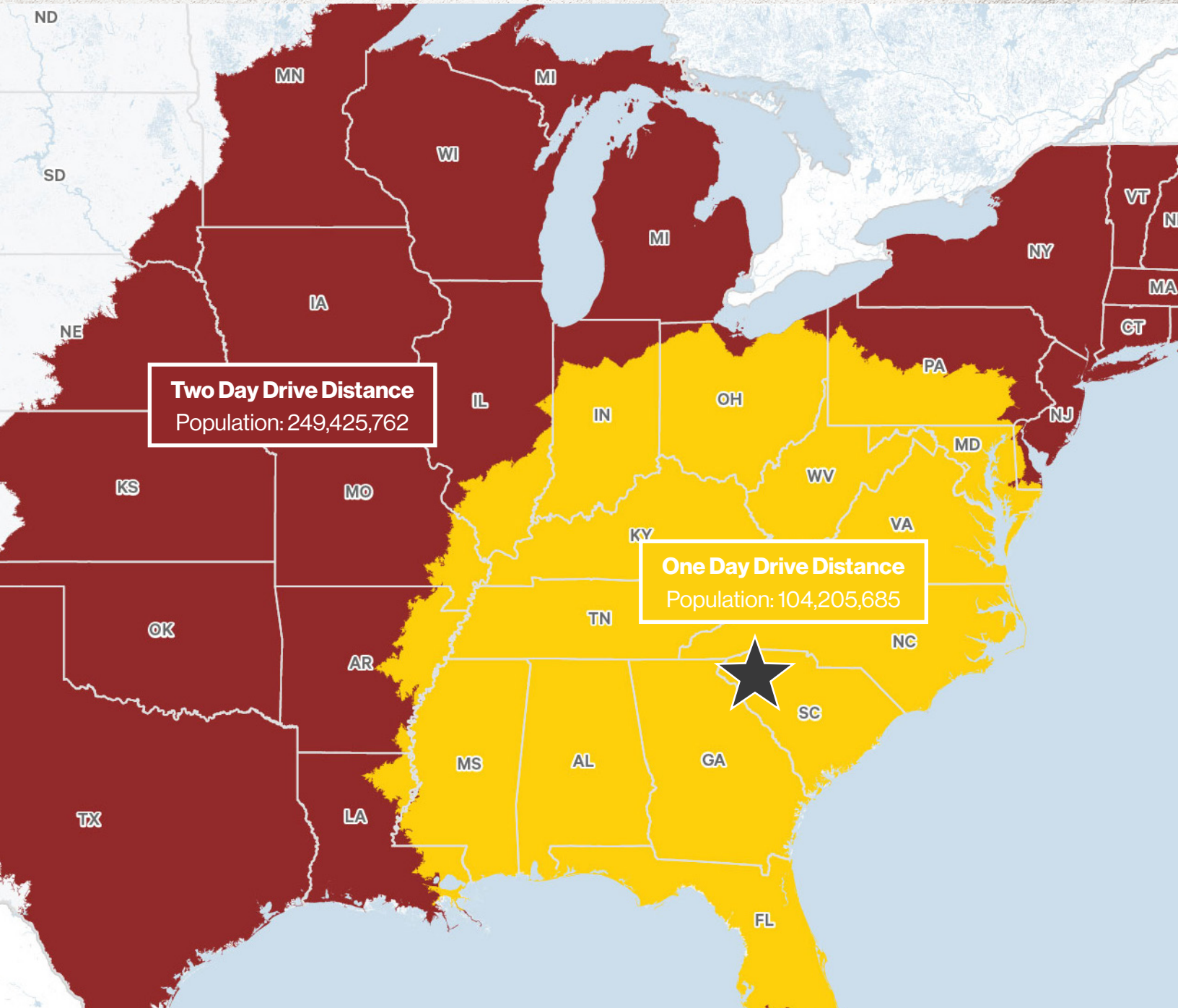
More than 520 international
companies with a presence
in Greenville-Spartanburg

Market has averaged roughly 5
million square feet of positive net
absorption during the past five years

Industrial market measures
approximately 201 million
square feet

Excellent last mile location
only 4.9 miles from
Downtown Greenville

Drive Time Map



I-85
1.1 Miles

Greenville
4.5 Miles

UPS Freight
14.0 Miles

GSP Airport
15.4 Miles

FedEx Freight
20.5 Miles

Inland Port
21.7 Miles



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